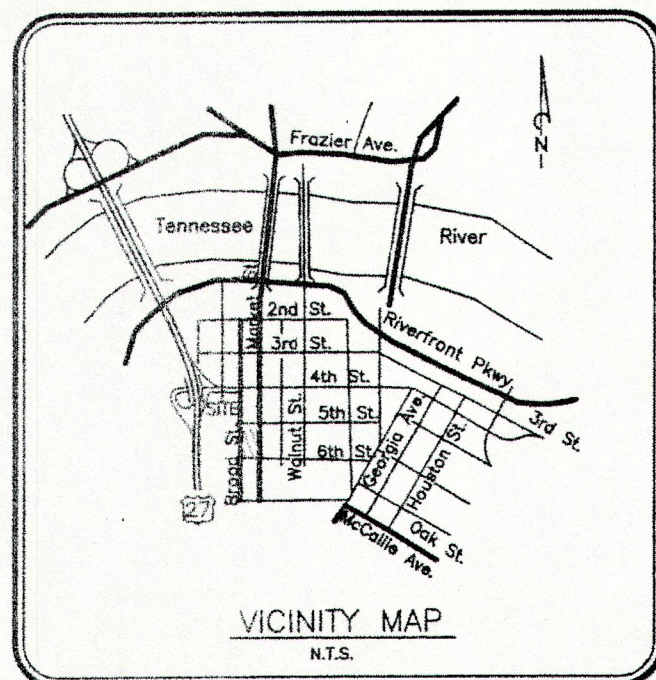
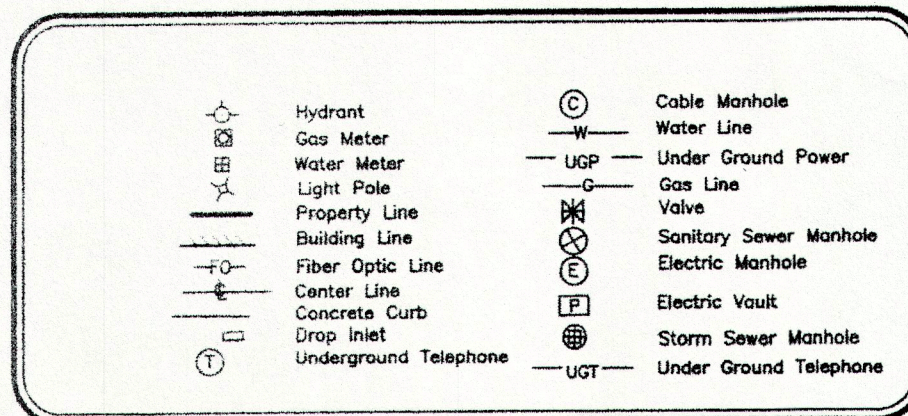
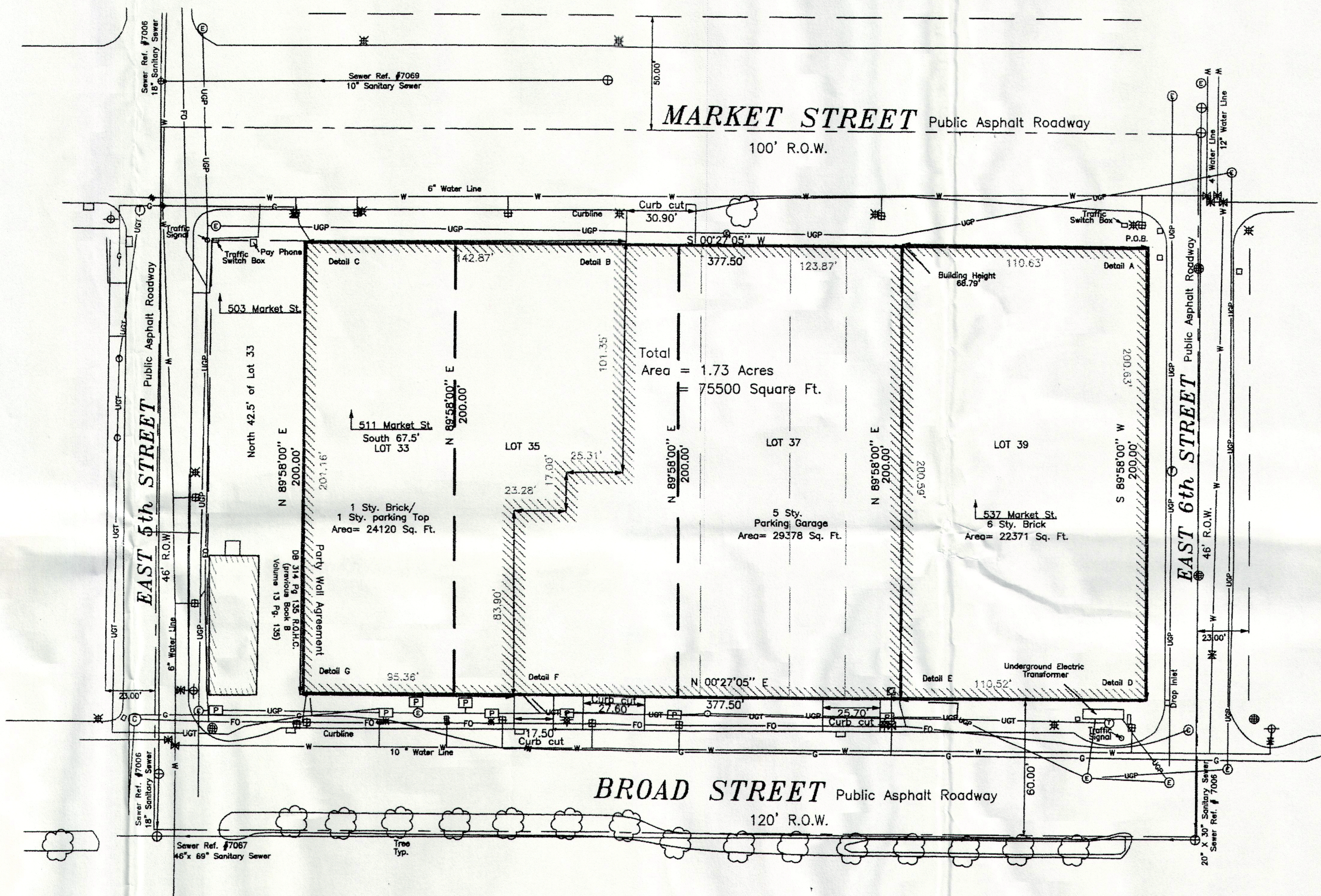
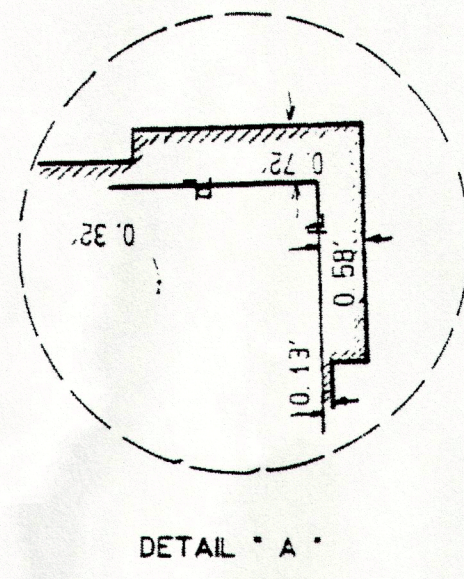
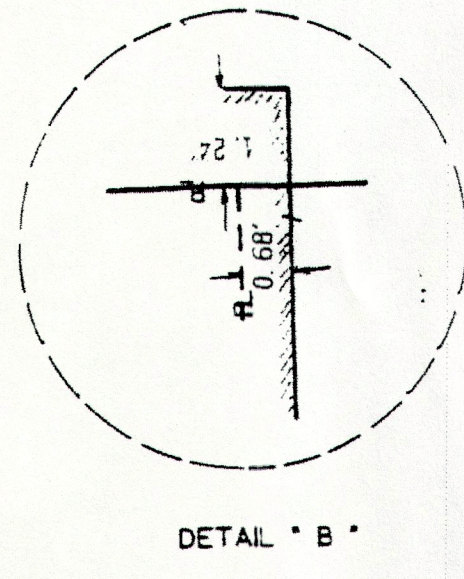
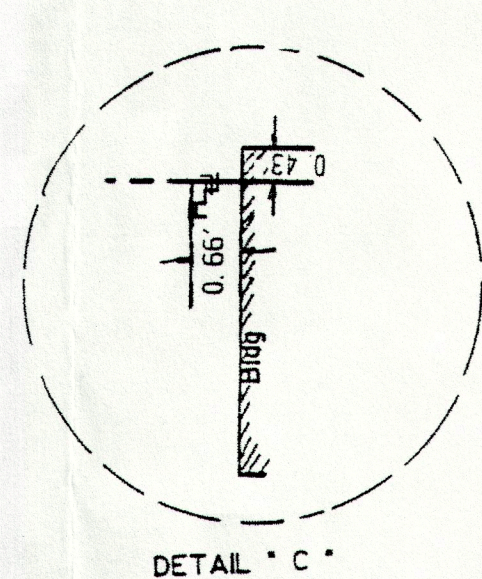


# Legend of Symbols & Abbreviations



## Statement of Encroachments

1) Building encroaches the building line, see details below.



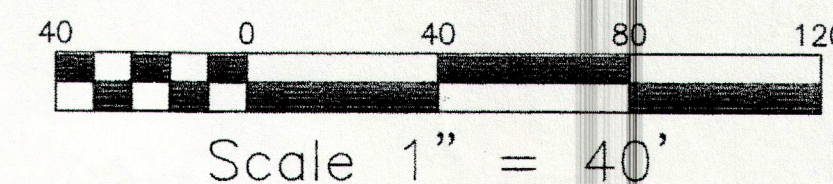
## LEGAL DESCRIPTION

Situated in Hamilton County, being lots 35, 37, 39, and part of lot 33 Original plan of the City of Chattanooga and being more particularly described as follows:

Beginning at the intersection of the North right-of-way of East 6th Street and the West right-of-way of Market Street, thence with and along the North right-of-way of East 6th Street South 89 degrees 58 minutes 00 seconds West a distance of 200.00 feet to a point in the East right-of-way of Broad Street, thence with and along the East right-of-way of Broad Street North 0 degrees 27 minutes 05 seconds East a distance of 377.50 feet to a point in a party wall, thence leaving said right-of-way North 89 degrees 58 minutes 00 seconds East a distance of 200.00 feet to a point in a party wall in the West right-of-way of Market Street, thence with and along the right-of-way of Market Street South 0 degrees 27 minutes 05 seconds West a distance of 377.50 feet to the point of beginning. Said tract containing 1.73 acres or 75500 Square feet more or less.

ALTA / ACSM LAND TITLE SURVEY  
Being the South 67.5 feet of Lot 33  
& Lots 35, 37, & 39,  
Original Plan of The  
City of Chattanooga  
Chattanooga, Hamilton County, Tennessee

1" = 40' June 19, 2001  
Revised July 20, 2001  
Revised July 30, 2001



Utilities:  
BellSouth Telephone  
Phone: (423) 537-6000  
Tennessee American Water Company  
1101 Broad Street  
Chattanooga, TN 37402  
Phone: (423) 755-7629  
Chattanooga Gas Company  
6125 Preservation Drive  
Chattanooga, TN 37416  
Phone: (423) 490-4289  
Electric Power Board  
P.O. Box 162259  
Chattanooga, TN 37422-7255  
Phone: (423) 529-3319  
Public Works Department  
City of Chattanooga - Sanitary Sewers  
City Hall, 101 E. 11th Street  
Chattanooga, TN 37402  
Phone: (423) 757-5392  
Public Works Department  
City of Chattanooga - Stormwater Mgt.  
City Hall, 101 E. 11th Street  
Chattanooga, TN 37402  
Phone: (423) 757-5392  
Building Inspector  
City of Chattanooga  
City Hall, 100 E. 11th Street  
Chattanooga, TN 37402  
Phone: (423) 757-5105

## SURVEYOR'S CERTIFICATE

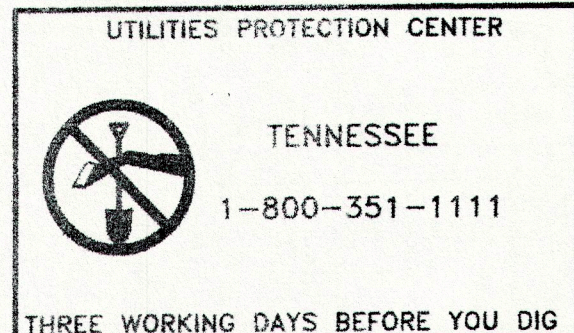
I hereby certify to Bank of America, N.A., a national banking association, its successors and/or assigns, MC Properties I, L.P. and First American Title Insurance Co. that the survey for this plan was made on the ground under my supervision from a recorded description in deed of record in Book 3385, Page 516, Book 3456 Page 199, Book 3482 Page 762, Book 3393 Page 946, Book 3573 Page 324, Book 3069 Page 358, Book 3573 Page 321, Book 3373 Book 324, Book 3717 Page 611 and Page 614 Records of Hamilton County, Tennessee, and that the angular and linear measurements and all other matters shown hereon are correct. I further certify that this survey was made under my supervision on June 11, 2001, correctly shows the total area of the property in acres and in square feet; the exact dimensions and location of improvements, walkways, paved areas and parking areas; all other matters on the ground which may adversely affect title to the subject property; the exact relation of buildings and other structures to the property lines of the land indicated hereon; the exact location of visible and recorded easements and other matters of record affecting the subject property. I further certify that there are no encroachments of adjoining buildings or structures onto said land nor overlap the buildings or structures from said land other than as shown; that adequate ingress and egress to the subject property are provided by Market Street and Broad Street, as shown on the survey, the same being paved, dedicated public rights-of-way; that the location of all improvements on the subject property is in accord with all applicable zoning laws regulating the use of the subject property and with all applicable laws containing minimum set back provisions and covenants and restrictions of record; that the subject property does not serve any adjoining property for drainage ingress and egress or for any other purpose; and that the property is not in a flood plain (as shown by Map No. 470072-14A, as dated September 3, 1980); this survey is made in accordance with "Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys," jointly established by ALTA and ACSM in 1999 and meets the accuracy and requirements of an Urban Survey, as defined therein, with accuracy and precision requirements modified to meet current minimum angular and linear tolerance requirements of the state in which the subject property is located.

Date July 30, 2001

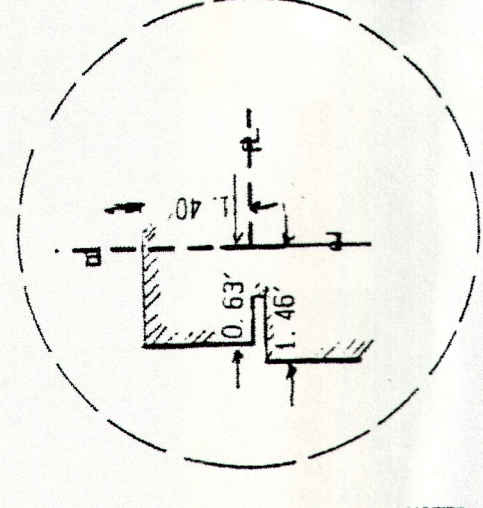
Signature David L. Hopkins, Jr.

License No. 120

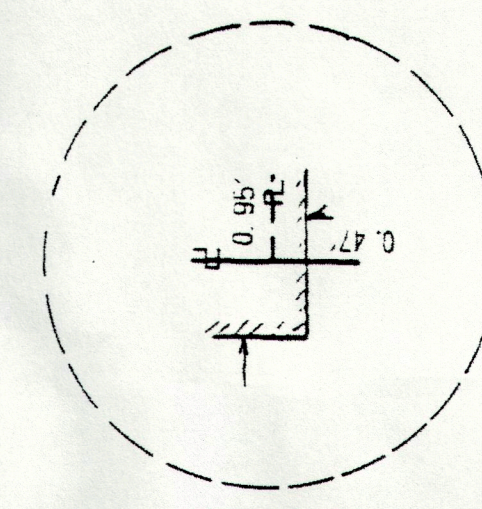
## CALL BEFORE YOU DIG



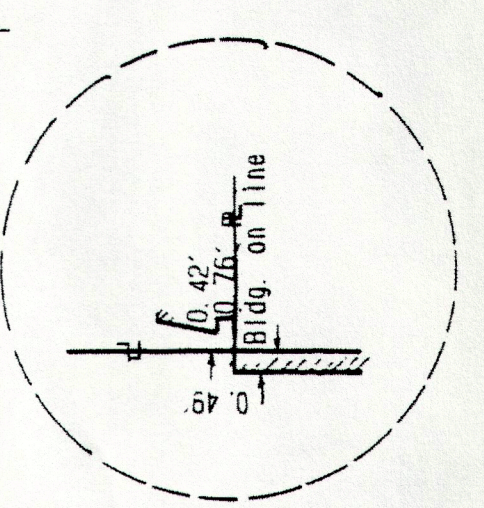
IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT UTILITY COMPANIES PRIOR TO ANY CONSTRUCTION AS THE LOCATION OF UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE AND POSSIBLY INCOMPLETE. THEREFORE CERTIFICATION TO THE LOCATION OF ALL UNDERGROUND UTILITIES IS WITHHELD.



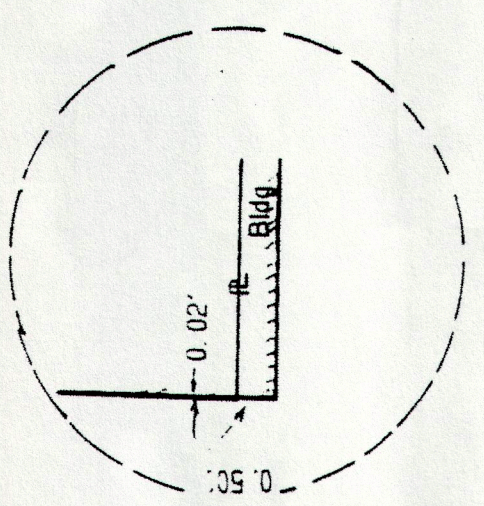
DETAIL \* G \*



DETAIL \* F \*



DETAIL \* E \*



DETAIL \* D \*

## NOTES

- Zoning Classification C-3 Central Business Zone
- Setback Requirements
  - There are no minimum front yard requirements except that service station buildings shall have a front yard of not less than thirty (30) feet.
  - A side yard of not less than ten (10) feet shall be provided where a permitted use adjoins a residential zone.
  - There shall be a rear yard of not less than twenty-five (25) feet where the permitted use adjoins a residential zone or an M-1 Zone.
  - Other than as provided above, no additional front, rear, or side yards are required, but where buildings are separated, the distance between them shall be at least (10) feet.
  - No structure, landscaping, fences, terraces, or other natural or artificial features adjacent to any street shall be of a nature impairing visibility from or of approaching vehicular traffic where such visibility is important to safety and shall such feature in any way create potential hazards to pedestrians. For the purpose of this section, the building commission shall request the review and approval by the traffic engineer of any plan for construction before the issuance of a building permit.
  - Along major public street, turn-out lanes and merging lanes may be required to be constructed on the lot with length and width as appropriate to the flow of traffic, and traffic separation devices may be required at such entrances and exits along such merging lanes. Whether required by the traffic engineer or provided voluntarily, such turn-out and merging lanes may be included as part of any required yard adjacent to the public major street or collector. Disagreements concerning required turn-out and merging lanes may be appealed to the Board of Zoning Appeals.
- Access to Sites and Buildings:
  - Vehicular access to sites and buildings within the C-3 Central Business Zone may be permitted from any public street or alleyway after review and approval by the Traffic Engineer. Pedestrian access may be permitted at any location at the discretion of the property holder.
- Minimum Height of Structures:
  - Other than stated below, there are no zoning height restrictions.
  - In no case shall the height of any building or structure except radio, television, telephone and microwave towers (see Article VIII, Section 107), exceed the shortest distance from such structure to the nearest boundary of any Residential or R-4 Zone.
- C-3 Central Business Zone (Article V-700)

- Minimum Off-Street Parking and Loading Space Requirements:
  - There shall be no requirement for the provision of off-street parking within the C-3 Central Business Zone.
  - Off-Street loading facilities shall be provided which do not require the blockage of public thoroughfares during loading operations.
  - All off-street loading space and parking space, if provided, shall be subject to review and approval by the City Traffic Engineer and shall be so located, improved, illuminated, operated, and maintained as to provide safe and convenient circulation on the premises from adjacent streets and to minimize potential frictions with adjoining residential property.
- Parking on Site
  - Total Parking Spaces = 437
  - 430 Conventional parking spaces are on site
  - 7 Handicapped parking spaces are on site
- Density Requirements
  - There are none that are stated within the C-3 Central Business Zone (Article V-700)
- Building Height excluding penthouse = 89'

I, hereby certify after examination of the current F.E.M.A.-Flood Insurance Rate Map Community-Panel No.470072-0014-A that the subject property lies in zone(s) "C" thereon and DOES NOT lie within the 100 year flood hazard area. The reference map is dated September 3, 1980.

I, certify that I have surveyed the property hereon, that the survey is correct to the best of my knowledge and belief and that the ratio of precision of the unadjusted survey is >1:15,000 (Category I)

**HOPKINS SURVEYING GROUP, INC.**  
David L. Hopkins, Jr. - Registered Land Surveyor No. 120  
175 Hamm Rd.  
P.O. Box 4366 - Chattanooga, Tennessee 37405  
(423) 267-3751 Office/ (423) 267-0611 Facsimile  
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