

A Bright-Meyers Development Project

Union City, GA



Union City Market



Featuring a 203,000sf Wal-Mart Supercenter and 52,000sf retail shop space

For leasing information
please call DJ Hammond
404-252-1499

Fletcher Bright Company
423-755-8830

Meyers Brothers Properties, LLC
404-252-1499

Union City Market

Union City, Georgia

Located in fast growing south Fulton County, Union City Market features a Wal-Mart Supercenter and other quality merchants such as Radio Shack, Gamestop and Shoe Department. With an attractive brick and stucco exterior, Union City Market has been carefully designed to be aesthetically pleasing. Limited space is available for select retail and service businesses.

Population within five miles of the shopping center is in excess of 58,000 people. Plus, there is tremendous growth occurring within the trade area with many new subdivisions under construction. Union City Market is uniquely positioned to capture this growth due to its convenient location on Jonesboro Road and the drawing power of the Wal-Mart Supercenter.

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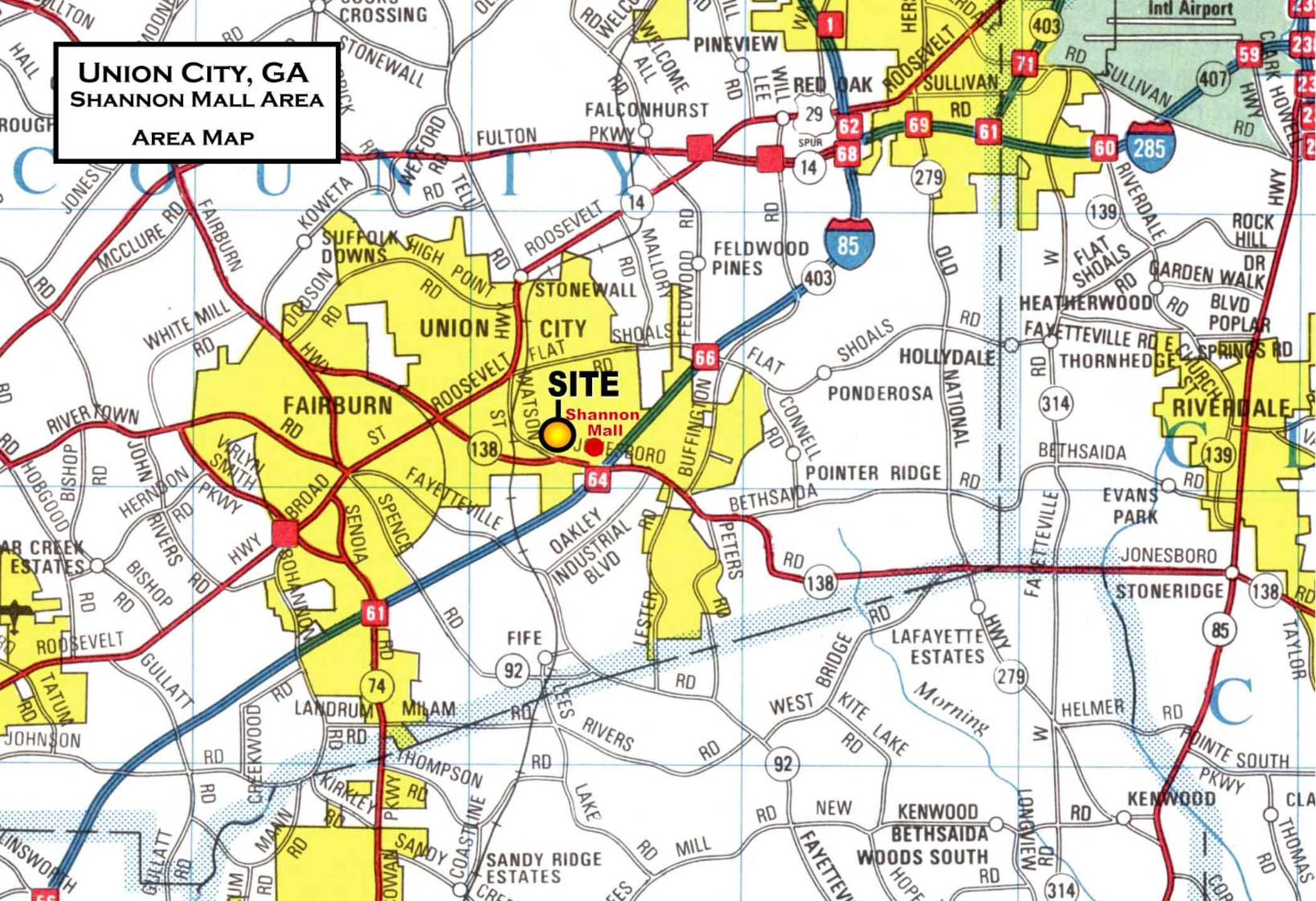
A Bright-Meyers Development Project

The Fletcher Bright Company
Meyers Brothers Properties, LLC

* The information contained in this brochure has been obtained from sources we believe to be reliable. However the developer makes no warranty or representation regarding the accuracy of the information.

UNION CITY, GA SHANNON MALL AREA

AREA MAP



UNION CITY MARKET

AERIAL PHOTOGRAPH

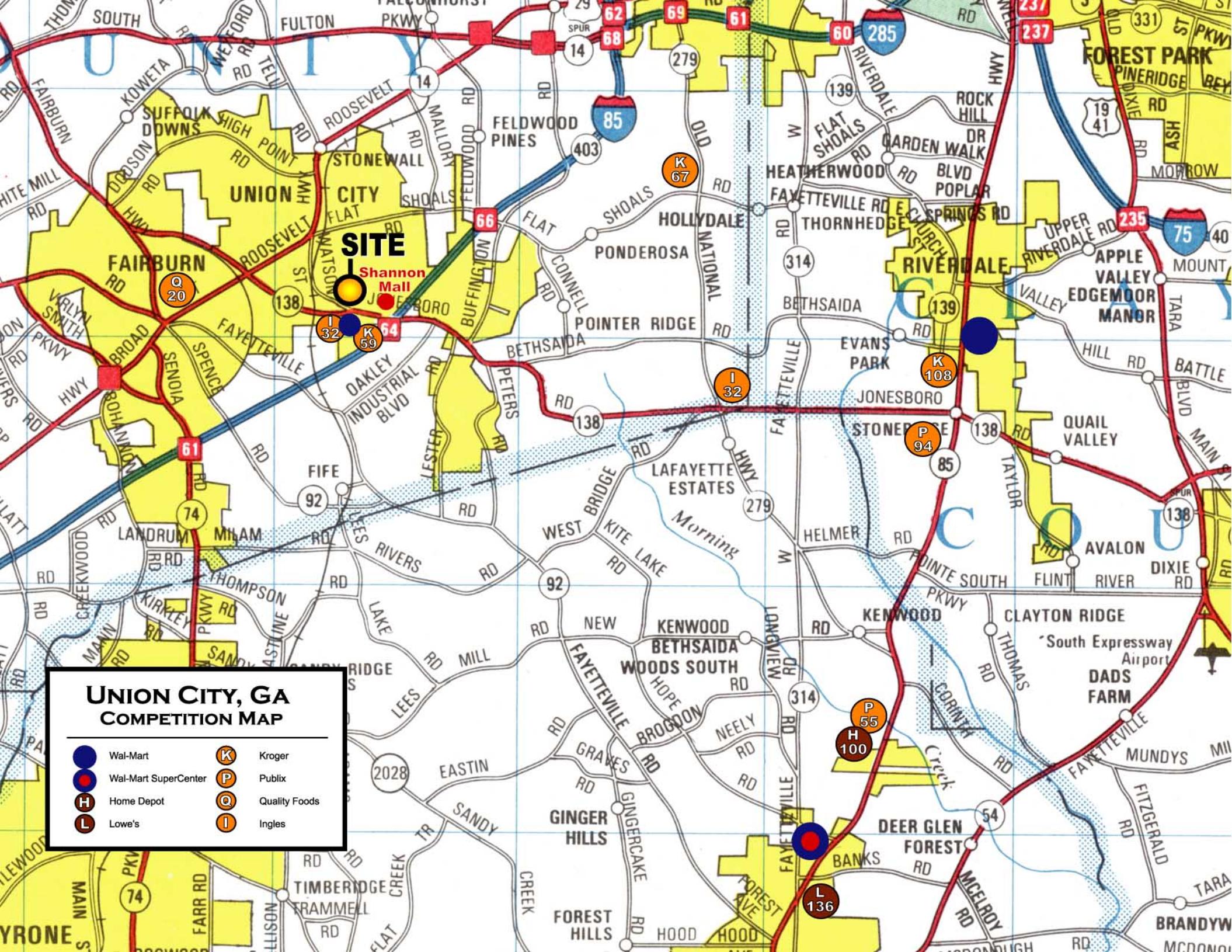
- Wal-Mart
- Kroger
- Ingles

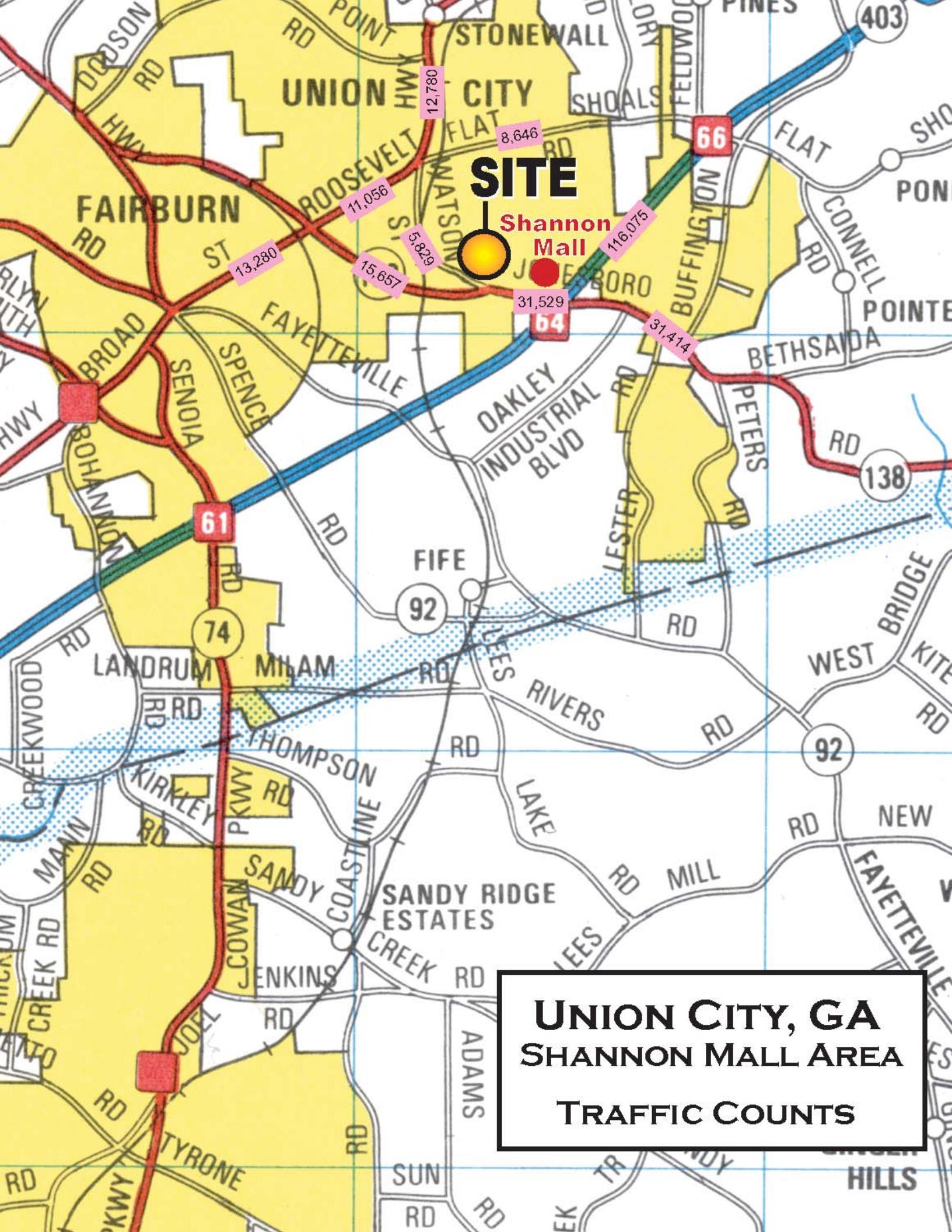
12,300 Traffic counts are indicated by pink boxes



UNION CITY, GA COMPETITION MAP

- | | |
|------------------------|-----------------|
| ● Wal-Mart | K Kroger |
| ● Wal-Mart SuperCenter | P Publix |
| H Home Depot | Q Quality Foods |
| L Lowe's | I Ingles |





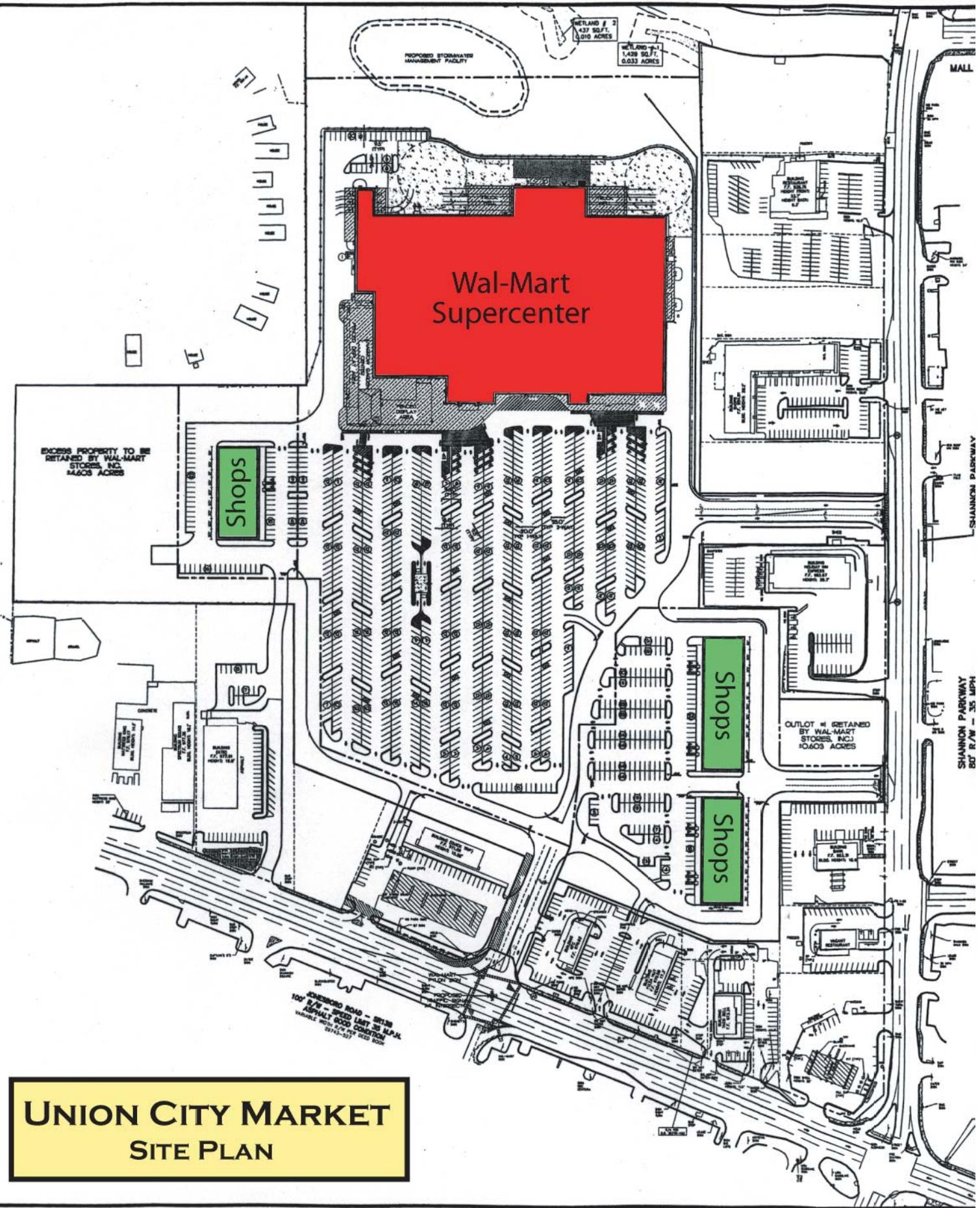
UNION CITY, GA SHANNON MALL AREA

TRAFFIC COUNTS

UNION CITY DEMOGRAPHICS

	3 MI RING	5 MI RING	10 MI RING
2012 Population	41,013	89,915	349,502
2000 Population	24,989	53,281	272,510
00-12 % Population Change	64%	68%	28%
2012 Households	15,483	32,975	129,533
2012 Average Household Income	\$48,001	\$55,077	\$58,017

Coordinates: 33.57012, 84.54228



This is a preliminary site plan subject to the modification by the developer.

BOOM TIMES PREDICTED FOR SOUTH FULTON

Land, job access are lures

By CHARLES YOO

From The Atlanta Journal-Constitution

South Fulton County -- a region long regarded as nowhere by developers -- is poised to gobble up a chunk of growth this decade, surpassing Fayette, Henry and Coweta counties.

As the Northside loses home value to long commutes, things can only look up for south Fulton, according to a panel invited by the Urban Land Institute's Atlanta District to discuss the issue.

The mostly rural area offers two major advantages, according to the panel's analysis. First, it is close to intown job bases such as Hartsfield International Airport, Cumberland Mall, Buckhead and downtown Atlanta.

Second, since south Fulton lost out on metro Atlanta's real estate boom during the past decade, it is virtually a clean slate, offering wide open spaces, the panel noted last week.

Builder Steve Macauley was able to buy land in south Fulton at a fraction of Northside prices, such as \$5,000 or \$7,000 an acre for his two current developments. But initially, he was hardly a fan.

"I just laughed. Why in the world would I go to south Fulton?" recalled Macauley, one of five panelists: a banker, a retail developer, a residential builder, a community activist and Fulton Planning Director Steve Cover. But, he added, "It just made sense. On top of that, it's just beautiful land."

A vast supply of affordable homes and parcels have disappeared from Fayette County. Municipal governments are beginning to clamp down on new developments. For Coweta and Henry counties, sudden growth has become taxing to the infrastructure, said Neil Wedewer, head of real estate finance for SunTrust Bank.

More money is being borrowed for investment in south Fulton real estate than ever before, he said.

"It's been fascinating to see what's happening," said Wedewer, adding that his company is financing more than 5,000 lots in south Fulton. "This isn't a one-shot phenomenon."

But stark inconveniences still stand out in south Fulton. With one mall, Shannon Southpark Mall in Union City, shopping is limited. Substandard schools and limited infrastructure have also deterred development.

Schools must be improved to attract middle-class families who can afford to buy properties, said Mark Toro, a panelist and partner in North American Properties.

The region also lacks a distinguished identity, suffering from a market perception that it is largely poor and black. While south Fulton's population is two-thirds black, its median income is \$47,000, not much below metro Atlanta's median of \$51,000, according to ULI Atlanta.

But more charter schools are planned, and a huge retail complex by North American Properties with a Barnes & Noble and a Target is coming to Camp Creek Parkway.

The number of building permits granted by the county increased from 338 in 1998 to 1,100 in 2001. Many home buyers are blacks from other metro areas, especially south DeKalb, ULI Atlanta found.

To prepare for new homes, Fulton is doubling the size of the Camp Creek sewage treatment plant by 2005. A grass-roots nonprofit, the Chattahoochee Hill Country Alliance, also is working to turn 40,000 acres of mostly rural parcels into three master-planned communities.

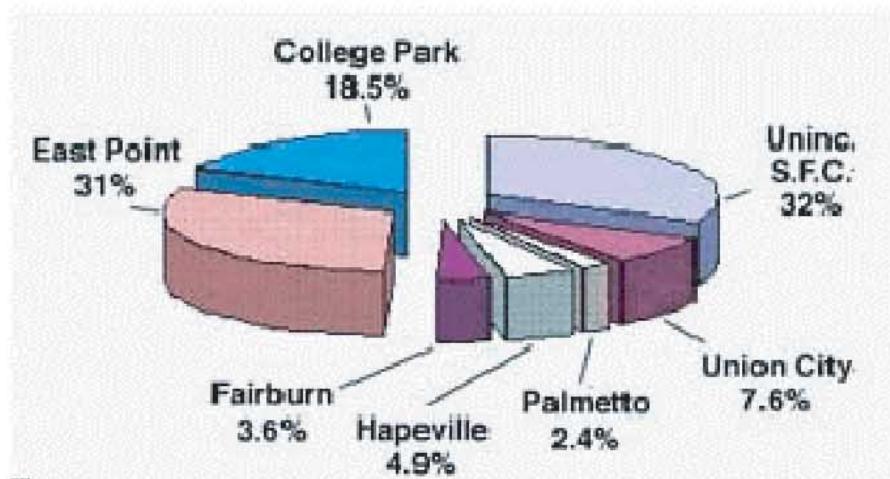
South Fulton County - Population

Atlanta is the largest metropolitan area in the southeastern United States with a population of 3.5 million people. Between 1980 and 1990 the region grew at a phenomenal rate of 32.5 percent. This growth is expected to continue to be fast-paced.

South Fulton County, which in 1995 had a population of 121,994 is projected to grow at a rate of 54 percent over the next 10 years.

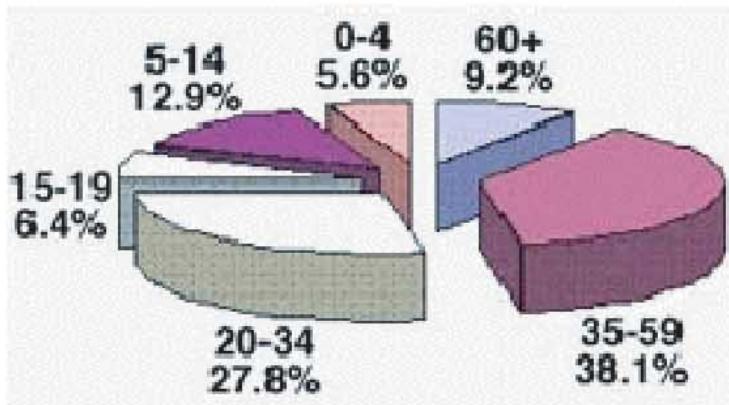
Population Distribution

Unincorporated
South Fulton
County - 42,834
East Point - 34,402
College Park - 20,457
Union City - 8,375
Hapeville - 5,483
Fairburn - 4,013
Palmetto - 2,612



Age and Gender

The age distribution in South Fulton County mirrors the rest of the county. As is the case in most areas, females are the majority at nearly 53 percent of the population.



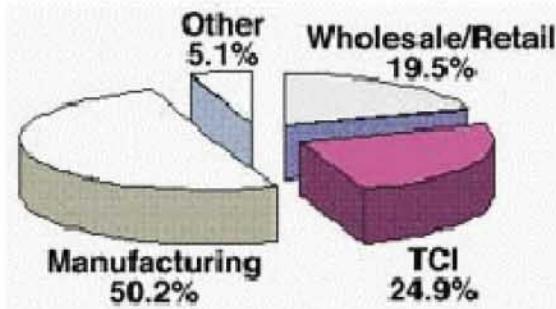
The Atlanta Regional Commission reports all of the census tracks which comprise South Fulton County in the Superdistricts of South Fulton, Shannon and Tri-Cities. Census information is available on each of the incorporated cities as well as the unincorporated area of South Fulton County.

Income

There are 46,025 households in South Fulton County and the total aggregate household income in 1990 was \$1.5 billion. According to the Census, the median household income for the area generally exceeded the national median income of \$30,056 with census tracts ranging from a low of \$25,124 to a high of \$39,001. Fulton County as a whole had a median household income of \$29,978 and the Atlanta region's median income was \$36,742.

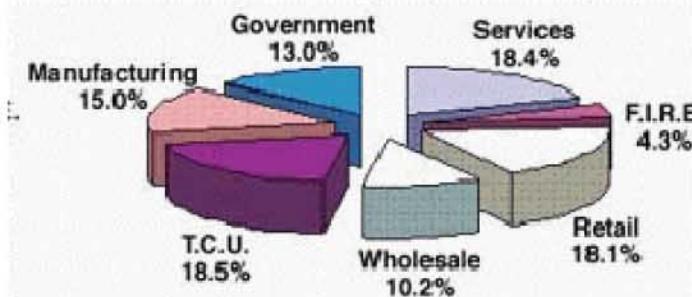
South Fulton County - Area Industry And Employment Breakdown

In the last decade alone over one-half million new jobs were created, at least 1,200 major U.S. companies and 365 international companies were attracted and more than \$70 billion was invested in development. Whenever the decision-makers of businesses are polled by the like of Fortune Magazine or Cushman & Wakefield, Atlanta rates at or near the top in preferred places to do business.



Among the reasons are the superb transportation network leading to the market of the world, a constantly improved business infrastructure, pro-business government with favorable taxes and an exceptional labor force. Businesses and industries are attracted to South Fulton County not just because of its superior transportation and excellent workforce, but also because developers create quality business, office and industrial park at much more affordable prices than northern metro locations.

Of South Fulton County's 125,000 acres, nearly 100,000 are still available for development, which keeps prices competitive and below land values in more developed areas. Developers offer a wide choice of locations throughout the area.



Union City - Community

Secluded in Georgia's natural beauty while located within the sphere of downtown Atlanta, Union City offers the best of both worlds. Home to 12,000 residents we provide a quality lifestyle with a wide variety of housing styles, excellent educational facilities, accessible transportation system, a variety of parks and recreational programs, numerous retail centers all just minutes away from Hartsfield International Airport and downtown Atlanta. Listed as the 15th fastest growing in city in Georgia, Union City "The Progressive City" is progressing rapidly into a great place to be.

- * Union City is well served and by many forms of transportation - Interstate 85, U.S. Highway 29, Georgia Highway 138 as well as MARTA.
- * Hartsfield Atlanta International Airport, one of the world's busiest airports is located 10 minutes north of Union City.
- * Union City is a major shopping destination - Shannon Mall along with other shopping centers provides patrons with a diversity of retailing choices including 9 automobile dealerships.
- * Also located within Union City on a 300 acre plus complex is Christian City, a non-profit organization providing housing for children, the aged and the infirm.

Union City provides potential residents with a variety of housing types and styles.

- * Single family subdivisions
- * Townhomes
- * Condominiums
- * Apartments

A City Government with 120 employees serves Union City residents and businesses with a wide-range of services.

- * Water (west of Interstate 85)
- * Sewer
- * Sanitation
- * Public Safety
- * Recreation

Union City - Points of Interest



Shannon Mall

Shannon Mall is located on Interstate 85 only 19 miles from downtown Atlanta and 10 miles from Atlanta International Airport and it is the major retail focus in the area. The mall opened in September 1980, underwent renovation in 1986 and had \$10 million in renovations in 1999. Shannon Mall is anchored by Rich's and JC Penney's and has over 250,000 square feet of space available for leasing.

Union City Government Center

Located in downtown Union City is the South Fulton Municipal Regional Justice Center and City Hall. The Administrative Department and Council Chambers are located in City Hall. Council meetings are held monthly on the third Tuesday at 7:00 PM. The Planning Commission, Zoning Board of Appeals and the South Fulton Municipal Regional Jail Authority also meet in the Council Chambers.

Serving as a model for the entire nation, the South Fulton Municipal Regional Justice Center was made possible by legislation enabling two or more municipalities to cooperate in developing approaches to shared public safety needs. Union City and Palmetto quickly joined forces to design an innovative funding structure in order to create the first Regional Jail Authority under this new resource. Construction began in May 1997 and was completed in October 1998.

The 303-bed regional jail replaces antiquated and overcrowded jail facilities for the cities of Union City and Palmetto. In addition to a Regional Jail, this project included construction of a Municipal Courthouse and Public Safety Headquarters for the City of Union City.

Christian City

Christian City is a multi-faceted non-profit organization composed of over 200-acres that provides childcare, nursing care, assisted living and some medical services to over 1,100 residents. Within the Christian City complex there are also several retirement communities, which provide attractive, affordable housing to many residents. Poised for growth, Christian City has begun construction proposed in their Master Plan for development.