

325 CHEROKEE

**EXISTING BUILDING**



W. MANNING ST.

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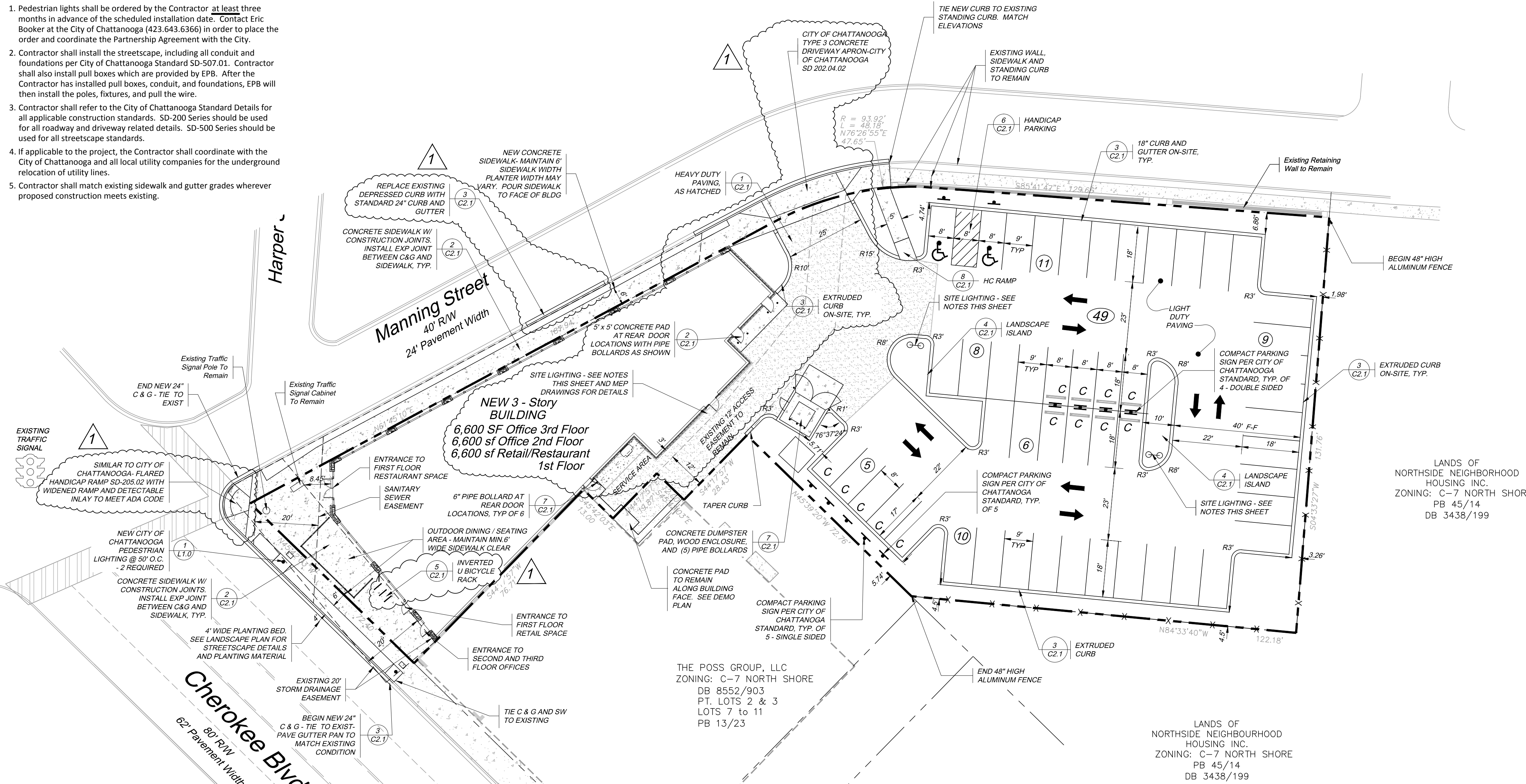
SOMERVILLE AVE.

CHEROKEE BLVD.

MINOR ST.

**Transportation Notes:**

1. Pedestrian lights shall be ordered by the Contractor at least three months in advance of the scheduled installation date. Contact Eric Booker at the City of Chattanooga (423.643.6366) in order to place the order and coordinate the Partnership Agreement with the City.
2. Contractor shall install the streetscape, including all conduit and foundations per City of Chattanooga Standard SD-507.01. Contractor shall also install pull boxes which are provided by EPB. After the Contractor has installed pull boxes, conduit, and foundations, EPB will then install the poles, fixtures, and pull the wire.
3. Contractor shall refer to the City of Chattanooga Standard Details for all applicable construction standards. SD-200 Series should be used for all roadway and driveway related details. SD-500 Series should be used for all streetscape standards.
4. If applicable to the project, the Contractor shall coordinate with the City of Chattanooga and all local utility companies for the underground relocation of utility lines.
5. Contractor shall match existing sidewalk and gutter grades wherever proposed construction meets existing.



**SITE AREA**

30,535 sf 0.70 Acres

**BUILDING AREA**

1st Floor - 6,600 sf Retail or Restaurant  
 2nd Floor - 6,600 sf Office  
 3rd Floor - 6,600 sf Office  
 Total = 19,800 sf Mixed-Use

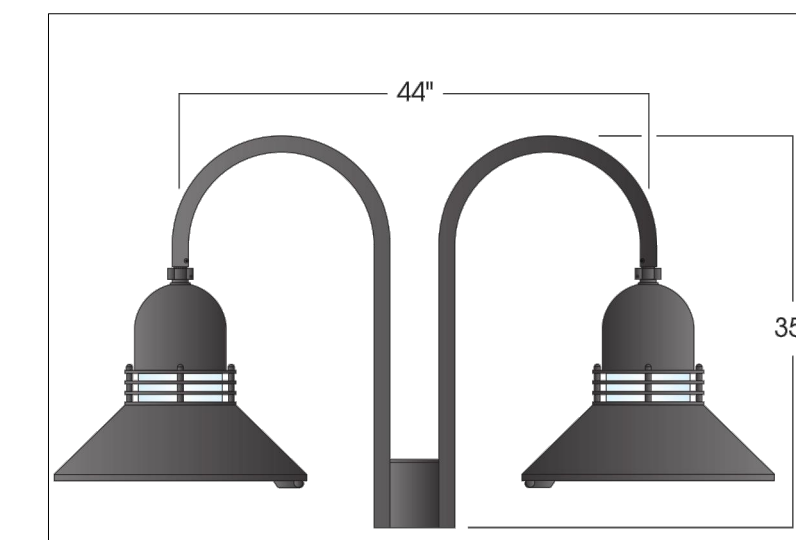
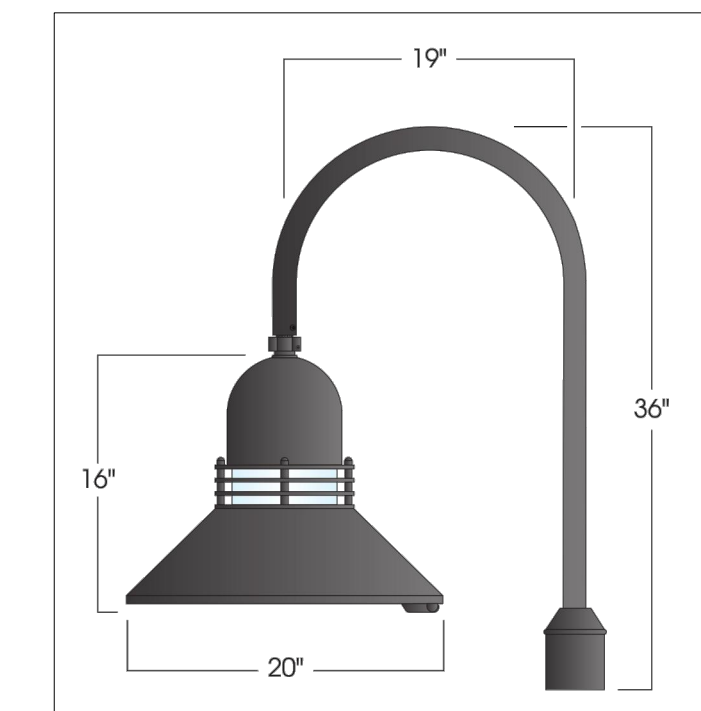
**PARKING SUMMARY**

13,200 sf Office Space  
 6,600 sf Retail or Restaurant  
 19,800 sf Total

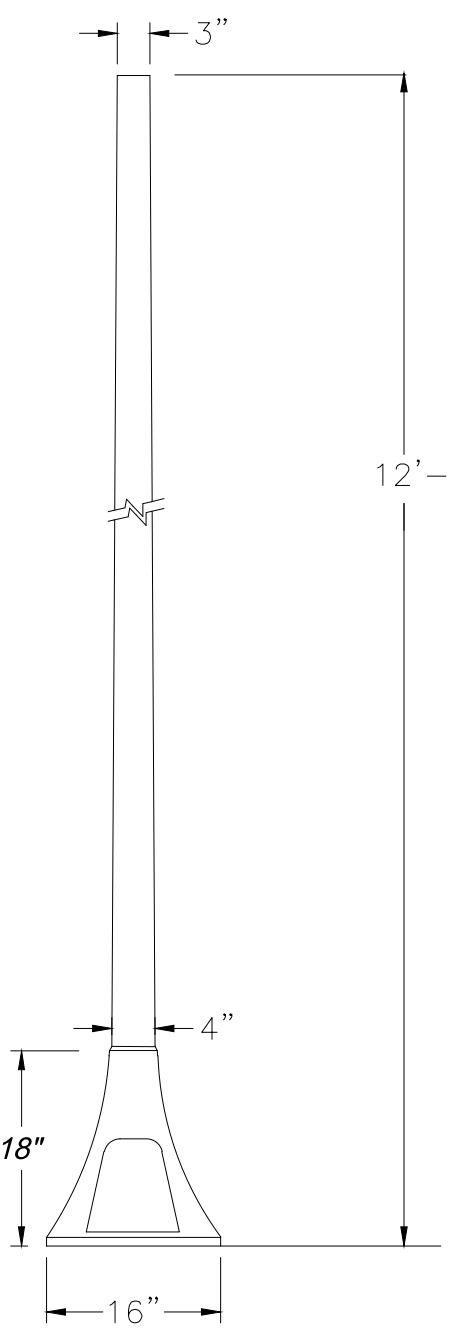
49 spaces / 19,800 sf = 2.47 spaces per 1,000 sf

**SITE LIGHTING NOTES**

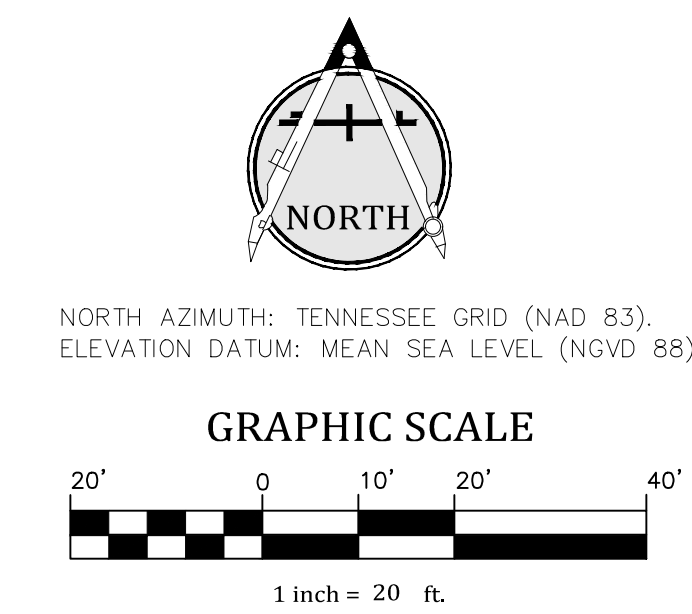
All parking lot lighting shall be equipped with full cut-offs to direct light downward and to minimize glare, shadows, night sky pollution, and excessive light levels. Maximum mounting height of light fixtures in parking lots shall be 20 feet.



**SITE LIGHTING FIXTURES**



**SITE LIGHTING POLE**



24-HOUR CONTACT: to be determined

UTILITIES PROTECTION CENTER  
 CALL TENNESSEE  
 1-800-351-1111  
 CALL THREE (3) DAYS BEFORE YOU DIG

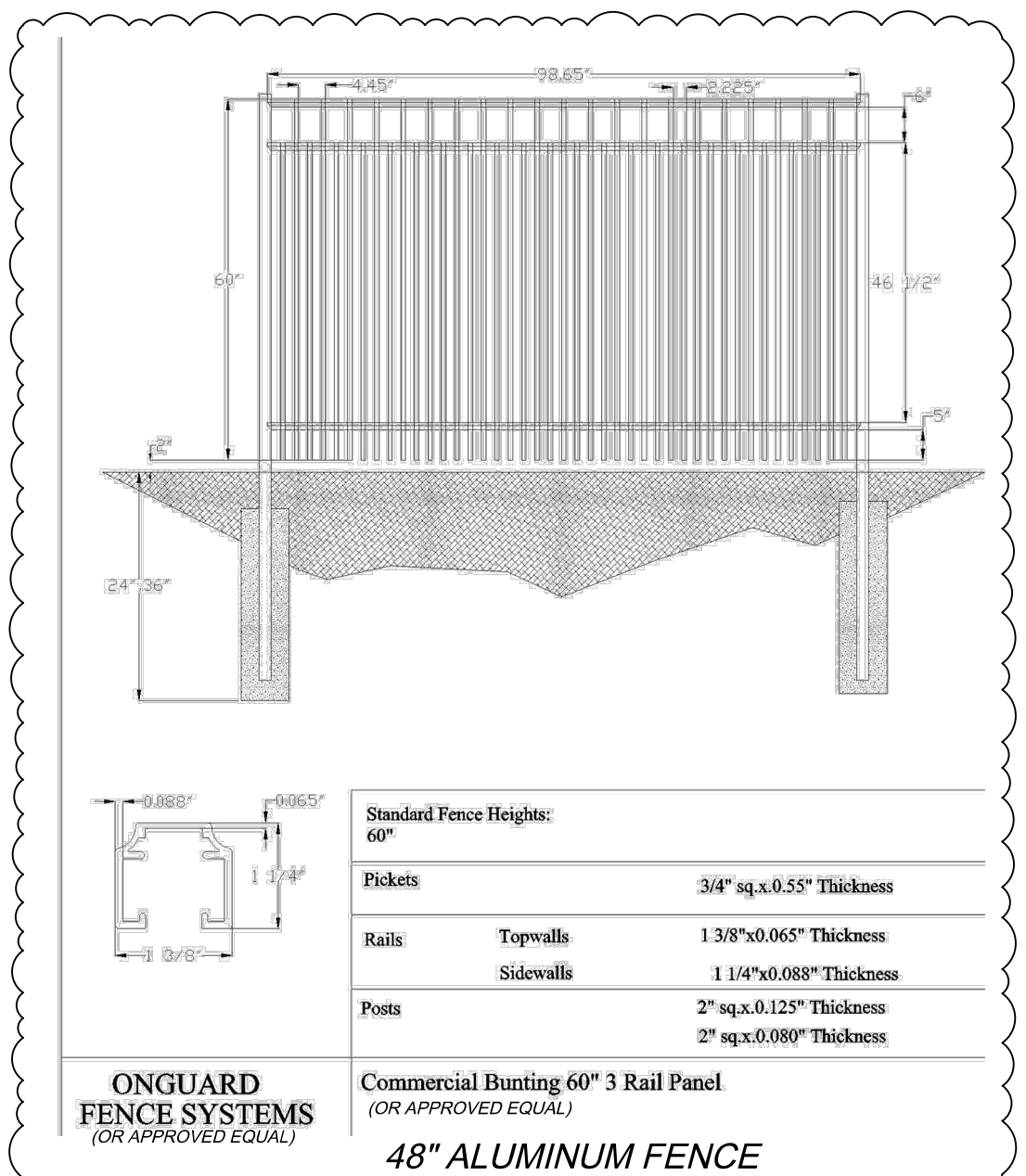
**PROJECT INFORMATION**

TOTAL LAND AREA IS 0.70± ACRES, TOTAL LAND DISTURBED IS 0.92 ACRES.  
 DESCRIPTION OF ACTIVITIES – DEMOLITION OF EXISTING STRUCTURE AND CONSTRUCTION OF NEW BUILDING AND PARKING LOT.  
 SOIL NATURE AS INDICATED BY THE USDA SOIL SURVEY OF HAMILTON CO., TN IS ENDERS-URBAN LAND COMPLEX, 2-12% SLOPES, HYDROLOGIC SOIL GROUP C.  
 NO STORM WATER ORIGINATES FROM THIS SITE WHICH IS CONTRIBUTED FROM INDUSTRIAL ACTIVITIES.  
 THE STORMWATER DRAINAGE RELEASED FROM THE SITE ENTERS INTO THE CITY STORM SYSTEM AND INTO THE TENNESSEE RIVER.  
 NO SINKHOLES HAVE BEEN IDENTIFIED ON THIS SITE.  
 NO STREAM OR WETLANDS HAVE BEEN IDENTIFIED ON THIS SITE.  
 A TENNESSEE GENERAL STORM WATER PERMIT WITH TDEC FOR CONSTRUCTION SITE RUNOFF IS NOT REQUIRED FOR THIS PROJECT.  
 BY GRAPHIC PLOTTING ONLY, PART OF THIS PROPERTY DOES NOT LIE IN THE 100-YEAR FLOOD HAZARD AREA AS SHOWN ON FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 47065C0329F, DATED NOVEMBER 7, 2002.  
 THE BOUNDARY SURVEY AND TOPOGRAPHIC INFORMATION HAS BEEN PROVIDED BY BEGINNING POINT SURVEYS, INC. MARIO FORTE, 423.624.0020 DATED 2-18-15  
 A SITE BENCHMARK IS STORMWATER MANHOLE RIM (ELEV 670.52') IN MANNING STREET R/W

ZONING: C-7 NORTH SHORE  
 TAX MAP NO: 135F-D-001 (325 CHEROKEE BLVD) 135F-D-002 (302 MANNING ST)  
 PROPERTY ADDRESS: 325 CHEROKEE BOULEVARD CHATTANOOGA, TN  
 PROPERTY OWNER: SOLAR BEAR, INC.

**GENERAL NOTES:**

1. ALL UTILITY LOCATIONS TO BE FIELD VERIFIED BY PROPER AGENCIES BEFORE BEGINNING CONSTRUCTION. UNDERGROUND UTILITIES ARE NOT FIELD LOCATED NOR ARE ALL PURPORTED TO BE SHOWN. INFORMATION SHOWN SHOULD BE CONSIDERED APPROXIMATE. CONTRACTOR TO CONTACT ALL UTILITY COMPANIES TO HAVE UTILITIES FIELD LOCATED BEFORE EXCAVATION OR DEMOLITION WORK BEGINS.
2. ALL WORK AND MATERIALS SHALL COMPLY WITH THE CITY OF CHATTANOOGA (NAME LOCAL AGENCY), STATE, FEDERAL, O.S.H.A. REGULATIONS, CODES AND STANDARDS.
3. CONTRACTOR SHALL OBTAIN ALL PERMITS BEFORE CONSTRUCTION BEGINS.
4. NECESSARY AND SUFFICIENT BARRICADES, LIGHTS, SIGNS, AND OTHER TRAFFIC CONTROL MEASURES AS MAY BE NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC SHALL BE PROVIDED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
5. THE LOCATIONS OF EXISTING UNDERGROUND OR OVERHEAD UTILITIES HAVE NOT BEEN VERIFIED BY OWNER OR AD ENGINEERING SERVICES, INC. CONTRACTOR SHALL DETERMINE THE EXACT LOCATION BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTORS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND OR OVERHEAD UTILITIES.
6. CONTRACTOR MUST CALL TENNESSEE ONE CALL AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST THE EXACT LOCATION OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
7. NOTIFY THE CITY OF CHATTANOOGA INSPECTIONS DEPARTMENT 24 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
8. ALL DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE BEGINNING CONSTRUCTION.
9. ALL EXISTING TREES, VEGETATION AND ORGANIC TOPSOIL SHALL BE STRIPPED AND REMOVED FROM THE CONSTRUCTION AREA, AS REQUIRED.
10. NO WORK SHALL OCCUR OFFSITE ON PROPERTY OWNED BY OTHERS WITHOUT THE OWNER AND CONTRACTOR OBTAINING WRITTEN PERMISSION AND THE REQUIRED PERMITS TO DO SO.
11. A MINIMUM CLEARANCE OF TWO FEET SHALL BE MAINTAINED BETWEEN THE FACE OF CURB AND ANY PART OF A TRAFFIC SIGNAL OR LIGHT POLE.
12. THE CONTRACTOR SHALL SAW-CUT TO PROVIDE SMOOTH TRANSITIONS AT TIE-INS TO EXISTING EDGES OF PAVEMENT.
13. THE CONTRACTOR SHALL SAW-CUT TIE-INS AT EXISTING CURBS AS NECESSARY TO ENSURE SMOOTH TRANSITION TO MEET EXISTING PAVEMENT AS NECESSARY AND TO ENSURE POSITIVE DRAINAGE (TYPICAL AT ALL INTERSECTIONS).
14. JOINTS OR SCORE MARKS ARE TO BE SHARP AND CLEAN WITHOUT SHOWING EDGES OF THE JOINT TOOL.
15. DIMENSIONS ON BUILDINGS ARE FOR GRADING PURPOSES ONLY AND SHOULD NOT BE USED TO LAYOUT FOOTINGS.
16. THE CONTRACTOR SHALL REPAIR OR REPLACE IN-KIND ANY DAMAGE THAT OCCURS AS A RESULT OF HIS WORK.
17. IT IS THE INTENT OF THIS PROJECT FOR THE CONTRACTOR TO VERIFY AND MATCH EXISTING CONDITIONS UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL NOTIFY THE ENGINEER/ARCHITECT OF ANY ITEMS THAT DO NOT EXIST AS SHOWN.
18. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER/ARCHITECT OF ANY CONFLICTING INFORMATION OR DISCREPANCIES THAT EXISTS ON THE CONTRACT DOCUMENTS OR DRAWINGS.
19. IN THE EVENT THAT THERE IS CONFLICTING INFORMATION ON THE DRAWING OR SPECIFICATIONS THE MORE STRINGENT REQUIREMENT WILL APPLY.

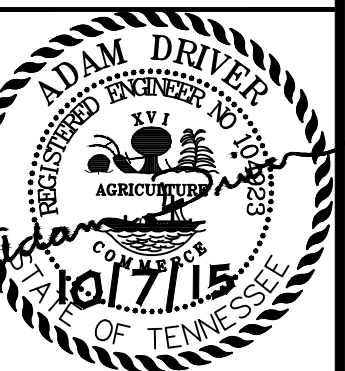


NO.	DATE	REVISION DESCRIPTION
1	10/7/15	ISSUE ENGINEERING & DESIGN SERVICES

325 CHEROKEE MIXED USE  
 325 Cherokee, LLC  
 325 Cherokee Blvd  
 Chattanooga, TN

for  
 CARDON SMITH  
 325 CHEROKEE, LLC  
 537 Market Street, Suite 400  
 Chattanooga, TN 37402  
 (423) 752-0161

**ENGINEERING SERVICES, INC.**  
 COMPLETE ENGINEERING & DESIGN SERVICES  
 651 E. 4th Street, Suite 407  
 Chattanooga, TN 37403  
 PH: (423) 266-3501 FAX: (423) 266-3286



DATE: 08/14/2015  
 DRAWN BY: TJF  
 CHECKED BY: ASD  
 SCALE: 1"=20'  
 JOB NUMBER: 14193

**SITE PLAN**

DRAWING NUMBER  
**C2.0**



325 CHEROKEE

THE STAG'S HEAD

The Stag's Head

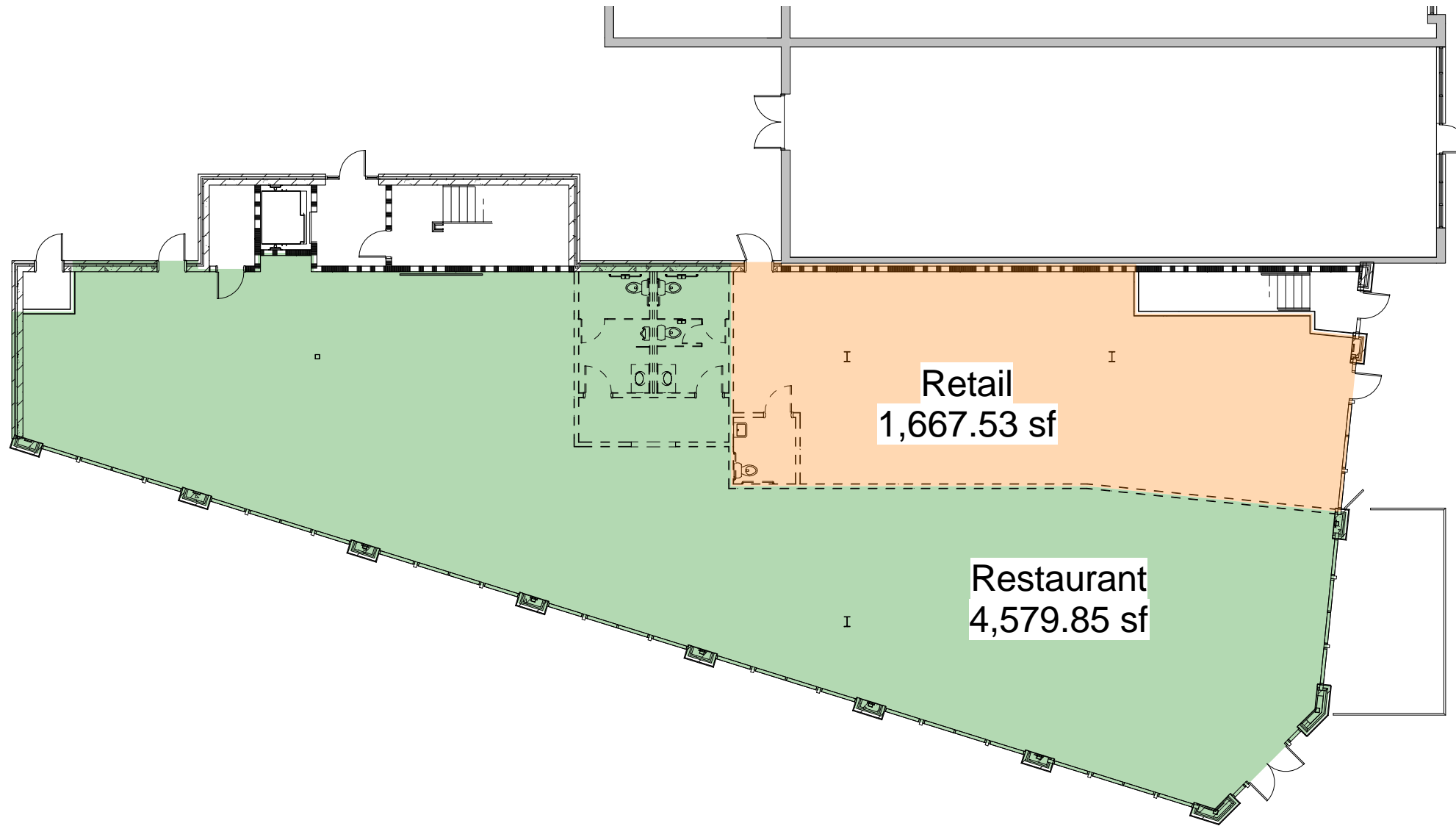
The Stag's

The Stag's



The Stag's Head

The Stag's Head



Restaurant	4,579.85 sf
<u>Retail</u>	<u>1,667.53 sf</u>
<b>Total</b>	<b>6,247.38 sf</b>

Oct 6, 2015

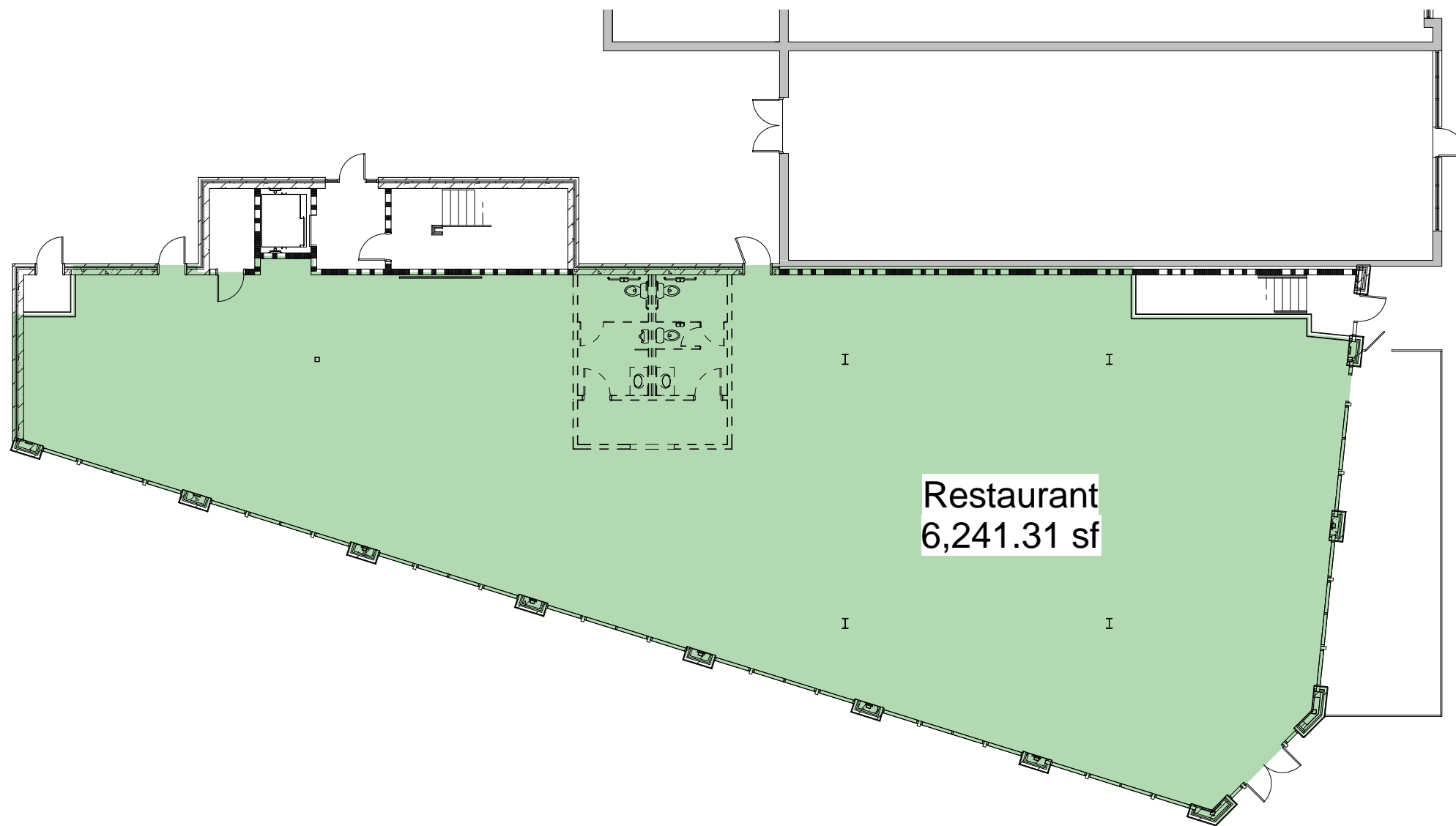
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Fletcher Bright Company  
 325 Cherokee  
 325 Cherokee Blvd, Chattanooga, TN

Design Development  
 First Floor Plan 101





Restaurant 6,241.31 sf

Oct 6, 2015

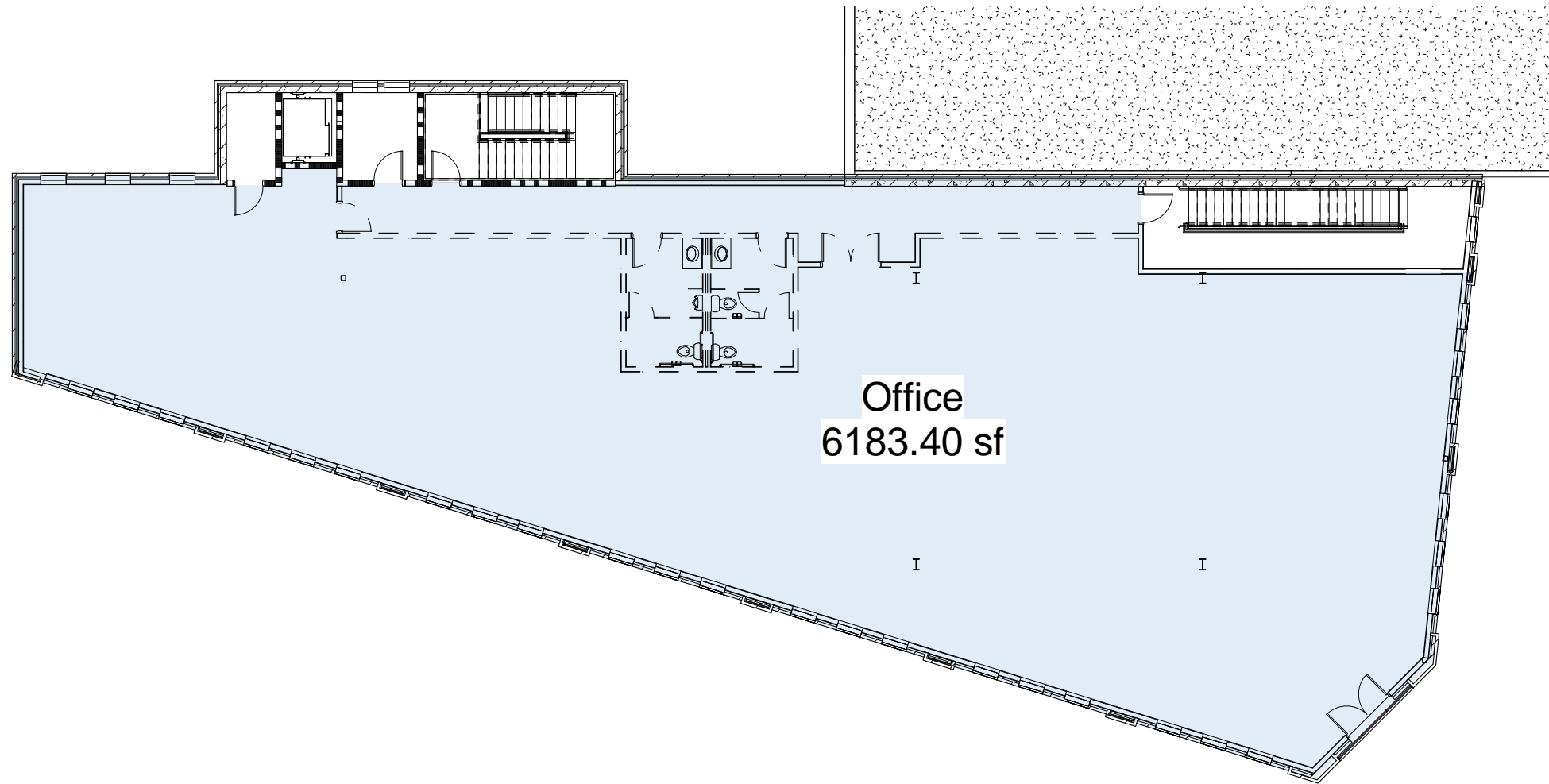
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Fletcher Bright Company  
325 Cherokee  
325 Cherokee Blvd, Chattanooga, TN

Design Development  
First Floor Plan 101b





Office 6,183.40 sf

Oct 6, 2015

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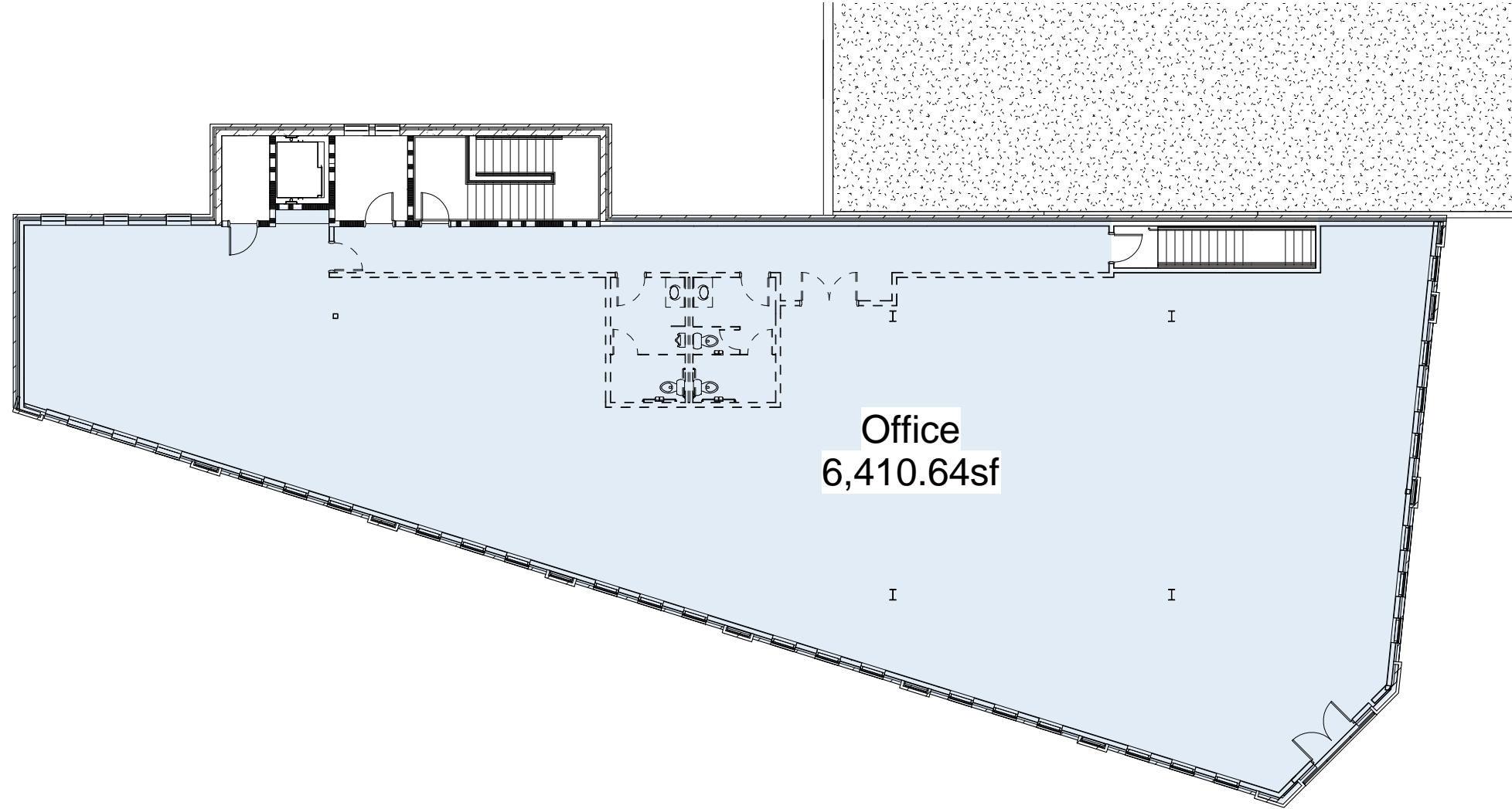


Fletcher Bright Company  
325 Cherokee  
325 Cherokee Blvd, Chattanooga, TN

Design Development  
Second Floor Plan 102







Office 6,410.64 sf

Oct 6, 2015

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Fletcher Bright Company  
 325 Cherokee  
 325 Cherokee Blvd, Chattanooga, TN

Design Development  
 Third Floor Plan 103

